

April 13, 2023  
Zoning Board of Appeals  
Allendale Charter Township

## ZONING BOARD OF APPEALS AGENDA

Date: April 13, 2023  
Time: 7:00 p.m.  
Place: Allendale Township Offices

1. Call the meeting to order
2. Election of Officers
3. Approval of the August 1, 2019 meeting minutes
4. Approval of the agenda for April 13, 2023
5. Public Comment for *non-public hearing items*
6. Public Hearing:
  - Variance Request
    - A request from Duke Construction Corporation for a variance at 11480 53<sup>rd</sup> Ave., also known as permanent parcel 70-10-24-335-001.
7. Public Comments
8. Adjourn

Allendale Charter Township  
Zoning Board of Appeals

Date: Thursday, August 1, 2019

Time: 7:30 p.m.

Place: Allendale Township Offices

Members Present: R. Chapin, C. Hilton, J. Jacquot, E. Westerling

Members Absent: S. Kleinjans, R. Nadda

Staff Present: S. Kushion

Recording Secretary: G. Sietsema

Guests Present: Stan Yetzke, Todd Suzon – neighbors  
Mike Gantos from Grand Rapids Building Company

1. Meeting was called to order at 7:30 p.m. by Chair R. Chapin
2. Election of officers
  - a. Motion was made by C. Hilton, seconded by E. Westerling, to maintain the same officers.
  - b. Officers are: R. Chapin, Chairman; J. Jacquot, Vice Chairman, R. Nadda, Secretary

**Motion carried 4:0**
3. Motion was made by J. Jacquot and supported by E. Westerling to approve Minutes of June 7, 2018, as written.

**Motion carried 4:0**
4. Motion was made by C. Hilton and supported by E. Westerling to approve the agenda for August 1, 2019.

**Motion carried 4:0**
5. There were no public comments.
6. Public Hearing regarding a Variance Request was opened by R. Chapin at 7:36 p.m.  
Variance Request: A request from Grand Rapids Building Company LLC for a variance at 11451 40<sup>th</sup> Street, also known as permanent parcel 70-10-19-400-021

Mike Gantos, Grand Rapids Building Company LLC, presented the need for this variance.

Todd Suzon spoke concerning this setback and its impact on his property value.

Stan Yetzke spoke concerning the safety of this setback regarding traffic as well as the impact on his property value.

The Public Hearing closed at 7:45 p.m.

The Board discussed various aspects of this variance and reviewed each point separately of Section 28.04. A vote was taken for each point.

Point A – Yes: 4

Point B – Yes: 3; No: 1

Point C – Yes: 4

Point D – Yes: 4

Point E – Yes: 4

Based on the results of these 5 points, J. Jacquot made a motion, supported by E. Westerling, to grant the variance as requested.

**Motion carried 4:0**

7. There were no public concerns or comments.

8. The meeting was adjourned at 8:22 p.m.

Respectfully submitted by G. Sietsema, Recording Secretary

# Allendale

## CHARTER TOWNSHIP

*"Where community is more than just a concept!"*

### MEMORANDUM

**TO:** Allendale Charter Township Zoning Board of Appeals  
**FROM:** Steve Kushion, Zoning Administrator  
**DATE:** April 5, 2023  
**RE:** Variance Application- Brark Industries

---

The Zoning Board of Appeals is scheduled to hear a request from Duke Construction Corporation from Section 21.09 of the Zoning Ordinance, requesting relief from the 26-foot aisle requirement for two-way traffic to allow a 24-foot-wide aisle. The variance request is due to the proposed addition of 11 parking spaces on the SW corner of the property.

#### Property Information

This property is located at 11480 53<sup>rd</sup> Ave. and is zoned Industrial. The property is located south of Rich St., and the corner of 53<sup>rd</sup> and Edgeway. The property has an approximately 20,000 square foot industrial building.

#### Information provided by Applicant

The applicant has provided an application for variance, a site plan indicating the proposed parking expansion, and reasoning for the variance request in the applicant.

**Variance Request:** The applicant is asking for a variance allowing the two-way aisle to be 24 feet wide instead of the required 26 feet.

#### Section 21.09:

Both one-way and two-way traffic aisles are required to have a 26-foot-wide aisle for 90 degree parking. I have included the ordinance language and ZBA standards for approval for your review.

#### Conclusion:

I hope the information provided is helpful to you as you consider this variance request. If you have any questions or concerns please do not hesitate to contact me and I will assist in any way that I am able. You may reach me at either (616) 667-8803 or 616-895-5143 or by email at [skushion@pcimi.com](mailto:skushion@pcimi.com)



Steve Kushion  
Zoning Administrator

GROSS FLOOR AREA IN SQUARE FEET	LOADING AND UNLOADING SPACES REQUIRED IN TERMS OF SQUARE FEET OF GROSS FLOOR AREA
0 – 2,000	None
2,000 – 20,000	One space
20,000 – 100,000	One (1) space plus  One (1) space for each 20,000 square feet in excess of 20,000 square feet.
100,000 – 500,000	Five (5) spaces plus one (1) space for each 40,000 square feet in excess of 100,000 square feet.
Over 500,000	Fifteen (15) spaces plus one (1) space for each 80,000 square feet in excess of 500,000 square feet.

Double count. Off-street loading space areas shall not be construed as, or counted towards, the supplying of area required as off-street parking space area.

### Sec. 21.09 MINIMUM SIZE AND ACCESS.

All parking spaces along with parking aisles shall be designed to meet the following minimum standards: (See also Figure 21-1)

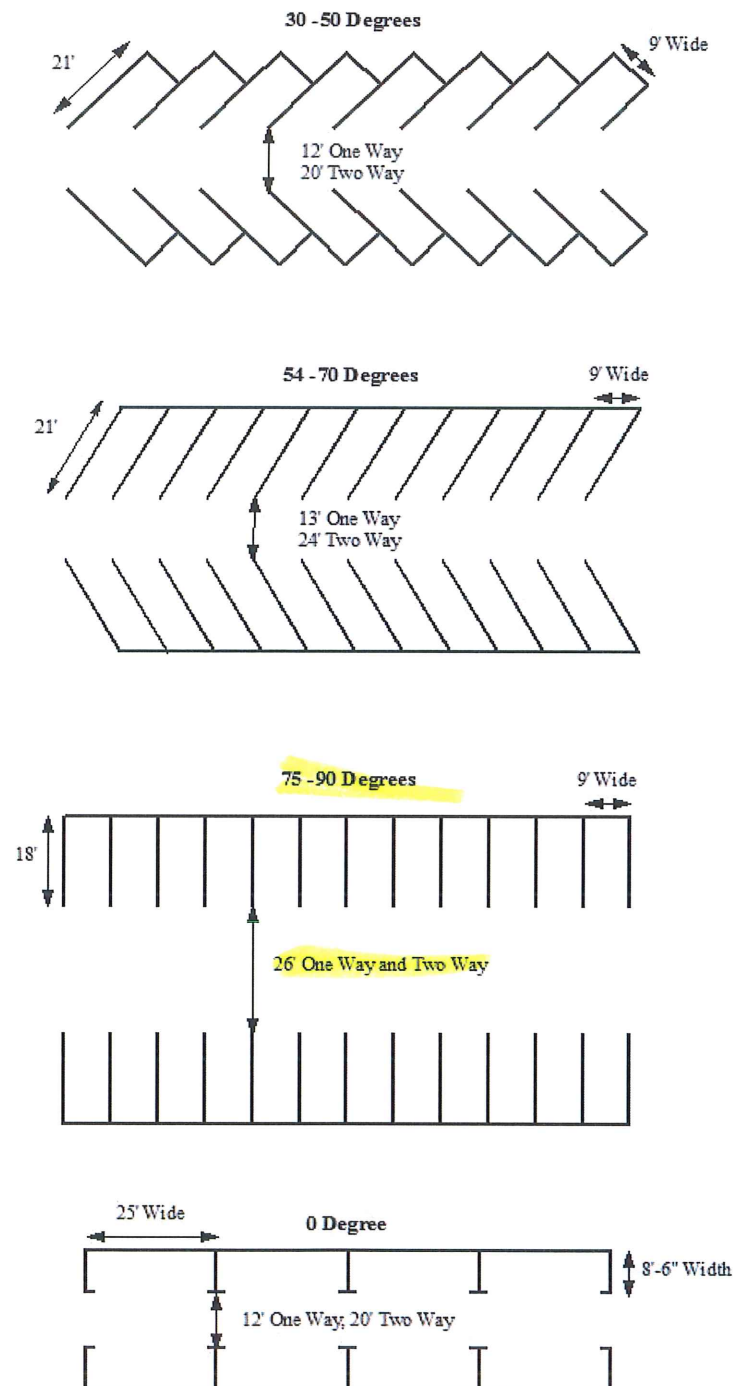
(Ord. # 2016-11, Eff. 8-1-2016)

Parking Pattern	Maneuvering Lane Width		Min Parking Space Width <sup>1</sup>	Min Parking Space Length <sup>2</sup>
	One Way	Two Way		
0 degree (parallel parking)	12 ft.	20 ft.	8 ft.	25 ft.
30-50 degrees	12 ft.	20 ft.	9 ft.	21 ft.
54-70 degrees	13 ft.	24 ft.	9 ft.	21 ft.
75-90 degrees	26 ft.	26 ft.	9 ft.	18 ft.

<sup>1</sup> Measured perpendicular to the longitudinal space centerline.

<sup>2</sup> Measured along the longitudinal space centerline.

FIGURE 21-1 MINIMUM PARKING LOT DESIGN REQUIREMENTS





notice of public hearing must contain the following information: a description of the nature of the request, a description of the property in question (using the street address if available), the time and place of the hearing, and when and where written comments will be received concerning the request.

#### **Sec. 28.04 VARIANCES; POWERS AND STANDARDS.**

The Board of Appeals shall have the power to hear and decide in accordance with the provisions of this ordinance any request for interpretation of the Zoning Ordinance, requests for variances, and decide any special questions on which the Board is authorized to pass.

The Board shall have the power to authorize, upon appeal in specific cases, such variances from the provisions or requirements of this ordinance as will not be contrary to the public interest, but only in such cases where the Board finds beyond a reasonable doubt that owing to special conditions pertaining to a specific piece of property, the literal enforcement of the provisions or requirements of this ordinance would cause practical difficulty and where it finds that all of the following facts and conditions exist:

- A. That compliance with the strict letter of the restrictions governing area, set backs, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.

- B. That the granting of the variance applied for would do substantial justice to the applicant, as well as to other property owners in the district, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.
- C. That the plight of the landowner is due to the unique circumstances of the property.
- D. That the problem is not self-created, nor created by the applicant's predecessor in interest.
- E. That granting the variance will insure that the spirit of the ordinance is observed, public safety secured, and substantial justice done.

#### **Sec. 28.05 LAND USE VARIANCES.**

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this ordinance in the zoning district involved, or any use expressly or by implication prohibited by the terms of this ordinance in said district. The Board of Appeals cannot grant use variances at all or use its variance authority to accomplish what would, in effect, be rezoning.

#### **Sec. 28.06 RECONSIDERATION OF A DECISION OF THE BOARD.**

The Board of Appeals may reconsider its decision on any matter provided that a request for reconsideration is filed with the Township Zoning Administrator within

# Allendale

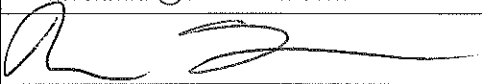
## CHARTER TOWNSHIP


"Where community is more than just a concept!"

### Zoning Board of Appeals

### Variance Application

Submission Date: 2/15/2023

Property Owner:	Brark Industries LLC		
Mailing Address:	11480 53rd Ave Allendale, MI 49401		
Phone Number:	(616) 481-0512	Cell Phone:	
Email Address:	mschmidt@bizstream.com	Fax:	
Owner's Signature:			

Applicant Name: (if not owner)	Duke Construction Corporation		
Mailing Address:	11307 Edgewater Dr Allendale, MI 49401		
Phone Number:	(616)900-6006	Cell Phone:	(616)299-1341
Email Address:	dschut@dukeco.co	Fax:	
Applicant's Signature:			

Who is the responsible party for future invoices? Check one:

☐ Property Owner ☒ Applicant

#### 1. Property Information:

Address of Property:	11480 53rd Ave Allendale, MI 49401		
Permanent Parcel Number:	70 - 09 - 24 - 335 - 001		
Legal Description of Property (or attach to the application):	Unit 1, Edgewater Business District No. 2, according to the Master Deed recorded in Uber 3327, Page 329, Ottawa County records, and amendments thereto, if any, designated as Ottawa County Condominium Subdivision Plan No. 304, together with rights in General Common Elements and Limited Common Elements as set forth in the above Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.		
Lot Area:	1.61 Acres	Lot Depth:	310.81'
Lot Width:	225.75		
Current Zoning of Parcel:	Industrial	Current Use of Parcel:	Industrial



List all deed restrictions:	

- Please include a site plan that includes:
  - a. Boundaries of property and location within the Township.
  - b. Any proposed structures with setbacks from the property lines.
  - c. Present zoning of the property and abutting properties.
  - d. Location of existing structures on abutting properties.

**2. Detailed Request** – If, for any question, additional space is needed, please attach additional pages.

Please check one of the boxes below to indicate the type of request you are applying for:

<input checked="" type="checkbox"/> Dimensional Variance	<input type="checkbox"/> Appeal of Administrative Interpretation
--	--

Detailed request:	
	A variance from Section 21.09 of the zoning ordinance is being requested to allow a 24 ft wide two-way drive aisle in lieu of the 26 ft width that the ordinance requires.

Please mark below the requirement(s) which are the subject of the variance request.

<input type="checkbox"/> Setback	<input type="checkbox"/> Signs	<input type="checkbox"/> Lot Coverage	<input type="checkbox"/> Loading Space
<input type="checkbox"/> Front	<input type="checkbox"/> Size	<input type="checkbox"/> Obscuring Wall/Fence	<input type="checkbox"/> Height
<input type="checkbox"/> Side	<input type="checkbox"/> Area Requirements	<input checked="" type="checkbox"/> Off-Street Parking	<input type="checkbox"/> Rear
<input type="checkbox"/> Other (Please Specify):			

Please mark below the characteristic(s) of your property which necessitate the granting of your request.

<input checked="" type="checkbox"/> Too Narrow	<input type="checkbox"/> Elevation	<input type="checkbox"/> Soil
<input type="checkbox"/> Too Small	<input type="checkbox"/> Slope	<input type="checkbox"/> Subsurface
<input type="checkbox"/> Too Shallow	<input type="checkbox"/> Shape	<input type="checkbox"/> Other (Please Specify):

**3. Justification**

Justification for granting the requested variance/modification. The applicant must show that strict application of the provisions of the Zoning Ordinance to the property would result in practical difficulties of unnecessary hardships inconsistent with the general purpose and intent of the ordinance. For the Board of Appeals to determine whether unnecessary hardship exists, the applicant should provide answers to each of the following questions:

- a. Can the property in question be used in a manner permitted by the Zoning Ordinance if a variance/modification is not granted?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

If not, what unnecessary hardship will result?

A deficiency in the number of parking spaces available on this property do not allow for the growth of the businesses to reach the full capacity of employees to work at this facility.

- b. To the best of your knowledge, can you affirm that the hardship described above was not created by an action of anyone having property interests in the land after the Zoning Ordinance or applicable part thereof became law? (self-imposed hardships are not entitled to variances)

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

If no, please explain:

- c. Will strict application of the terms of the ordinance deny use of the property for any purpose to which it is reasonably adapted?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

If yes, please explain:

The deficiency in the current number of parking spaces is due to a couple of factors.  
1. The original design and parking space count was based on the 2002 Ordinance which allowed for smaller drive lanes and lower parking space count. The current Ordinance requires 48+- on site parking spaces.  
2. The growth of the businesses and anticipated future employment needs will require more onsite parking spaces.

- d. Is the requested variance/modification due to unique circumstances present on your property?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

If yes, please explain the unique conditions:

The site is an existing site with land available for the additional row of parking that is proposed. The original, existing site was approved based on the 2002 zoning ordinance, which has been amended. The site will function well with the additional parking, and the variance will not be 'noticeable' to anyone visiting the site. The proposed drive aisle width is 24 ft, which is what many other commercial/industrial sites have and what other municipalities allow.

- e. Would granting the variance/modification be contrary to the adopted Master Plan?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

If yes, please explain:

- f. Would granting the variance/modification ensure that the spirit of the ordinance is observed, public safety secured, and substantial justice done?

<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	No
-------------------------------------	-----	--------------------------	----

Please explain:	There is in no way any cause or concern for public safety or substantial justice.
There are currently many existing commercial and industrial properties in Allendale that have 2-way drive Lanes 24' wide or less developed under prior ordinance rules and operate in a safe and effective manner.	

- g. Would granting the variance/modification, in effect, be rezoning this property to allow a use that otherwise is not permitted in this zoning district?

<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
--------------------------	-----	-------------------------------------	----

Please explain:	
The use of the building will not change with the granting of the variance.	

#### 4. Impact on Surrounding Properties

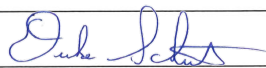
- a. How do you propose to minimize any potential negative impacts which your proposed variance may cause?

Please explain:	There would be no negative impact on surrounding properties.
There are currently many existing commercial and industrial properties in Allendale that were developed under prior ordinance rules that have 24 ft wide drive aisles or less, and they operate in a safe and effective manner.	

#### 5. Affidavit

I acknowledge that if the request is granted or other decisions favorable to me are rendered upon this appeal, this decision does not relieve me from compliance with all other provisions of the ordinance.

I also certify that the information provided is correct to the best of my knowledge and hereby appeal to the Zoning Board of Appeals.

	02/15/2023
Applicant Signature	Date

- Please include 5 sets of the submittal and 1 electronic copy for staff review along with your application and escrow fee. (When ready for submission to the Zoning Board of Appeals, smaller than typical plans are allowed when they can be easily interpreted and are to scale.)
- Please see Resolution 2011-2 for our full escrow fee policy. If you would like a copy of this policy, it is available online or by request at the Township office.
- If your escrow is not kept up to date, according to our policy, the Township reserves the right to withhold approval of your project, issue a stop work order, or withhold final occupancy until the escrow balance is made current.



For Office Use Only

Date Received:			
Amount Paid:		Check No:	

## Allendale Charter Township Zoning Ordinance

### Sec. 28.04 VARIANCES; POWERS AND STANDARDS.

The Board of Appeals shall have the power to hear and decide in accordance with the provisions of this ordinance any request for interpretation of the Zoning Ordinance, requests for variances, and decide any special questions on which the Board is authorized to pass. The Board shall have the power to authorize, upon appeal in specific cases, such variances from the provisions or requirements of this ordinance as will not be contrary to the public interest, but only in such cases where the Board finds beyond a reasonable doubt that owing to special conditions pertaining to a specific piece of property, the literal enforcement of the provisions or requirements of this ordinance would cause practical difficulty and where it finds that all of the following facts and conditions exist:

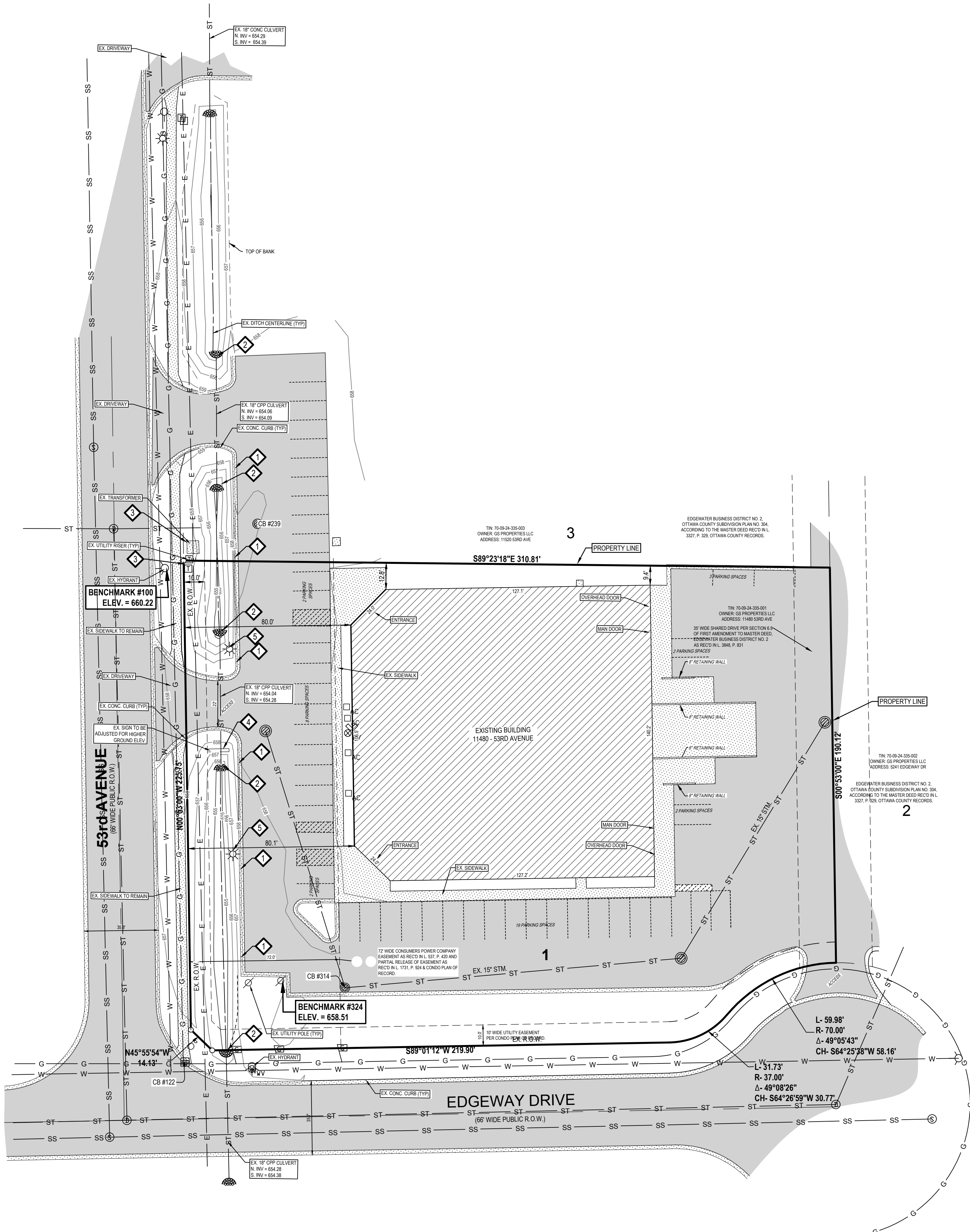
- A. That compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk or density would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.
- B. That the granting of the variance applied for would do substantial justice to the applicant, as well as to other property owners in the district, or whether a lesser relaxation than that applied for would give substantial relief to the owner of the property involved and be more consistent with justice to other property owners.
- C. That the plight of the landowner is due to the unique circumstances of the property.
- D. That the problem is not self-created, nor created by the applicant's predecessor in interest.
- E. That granting the variance will insure that the spirit of the ordinance is observed, public safety secured, and substantial justice done.

## REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 12) ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

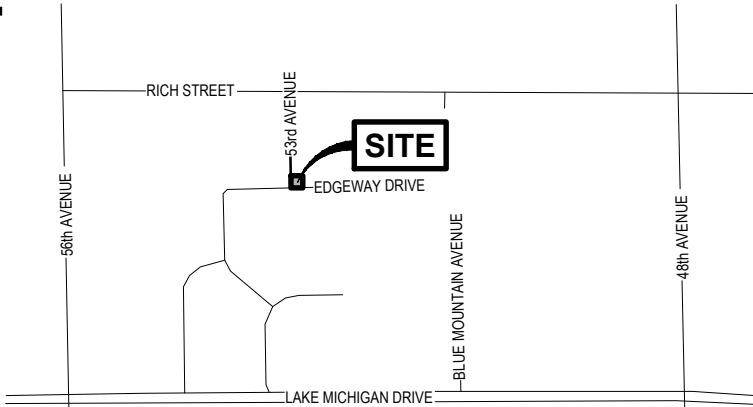
## REMOVAL / DEMOLITION NOTES

- 1) REMOVE AND REPLACE EXISTING CONCRETE CURB AS DIRECTED BY THE OWNER.  
REMOVE AND REPLACE ASPHALT ADJACENT TO CURB AS DIRECTED BY THE OWNER.
- 2) REMOVE EX. FLARED END (IF PRESENT) TO PREP EXISTING STORM ENDS  
FOR NEW DRAINAGE STRUCTURE.
- 3) ADJUST ELEVATION AROUND UTILITY AS NECESSARY.  
ADJUST UTILITY IF/AS NECESSARY TO MATCH PROPOSED GRADING.
- 4) ADJUST ELEVATION AROUND SIGN AS NECESSARY.  
ADJUST SIGN IF/AS NECESSARY TO MATCH PROPOSED GRADING.
- 5) REMOVE AND RELOCATE LIGHT POLE.



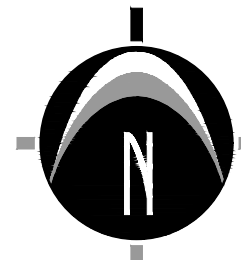
## BENCHMARKS

- BENCHMARK #100 ELEV. = 660.22 (NAVD88)**  
Set BM on Northeast bolt under "W" to hydrant located on East side of 53rd Avenue, ±265' North of Edgeway Drive Centerline
- BENCHMARK #324 ELEV. = 658.51 (NAVD88)**  
Found nail in east side of power pole located ±55' north of Edgeway drive centerline, ±75' east of 53rd Avenue



## LOCATION MAP

NOT TO SCALE



0' 15' 30' 60'  
SCALE: 1" = 30'

## LEGEND

- AC Air Conditioner
- △ Benchmark / Control Point
- Catch Basin - Round
- Catch Basin - Square
- Culvert
- Hydrant
- Iron - Found
- Light Pole
- Phone Riser
- Miss Dig Flag - Gas
- Sign
- Utility Pole
- WV Water Valve
- OH — Overhead Utility
- ST — Storm
- G — Gas
- X — X — Fence
- Asphalt
- Concrete
- Existing Building

## TITLE DESCRIPTION

The following described premises situated in the Township of Allendale, Ottawa County, State of Michigan.

Unit 1, Edgewater Business District No. 2, according to the Master Deed recorded in Uber 3327, Page 329, Ottawa County records, and amendments thereto, if any, designated as Ottawa County Condominium Subdivision Plan No. 304, together with rights in General Common Elements and Limited Common Elements as set forth in the above Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

**NEDERVELD**  
www.nederveld.com  
800.222.1868  
**GRAND RAPIDS**  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
Phone: 616.575.5190

**ANN ARBOR**  
**CHICAGO**  
**COLUMBUS**  
**HOLLAND**  
**INDIANAPOLIS**

## PREPARED FOR:

Duke Construction Corporation  
Attention: Duke Schut

11307 Edgewater Drive  
Allendale, MI 49401  
Phone: 616.900.6006

## REVISIONS:

Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 5/21/22
Title: Site Plan	Drawn: SW	Checked: SW	Date: 06/04/22
Title: Site Plan Submittal	Drawn: SW	Checked: SW	Date: 07/22/22
Title: Site Plan Showing Additional Parking	Drawn: SW	Checked: SW	Date: 09/24/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 09/26/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 09/27/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 10/05/22
Title: Per ZBA Submittal	Drawn: SW	Checked: SW	Date: 02/13/23

## BRARK INDUSTRIES - DITCH ENCLOSURE

### Existing Conditions and Demolition Plan

11480 53rd Avenue  
PART OF THE SOUTHWEST 1/4 OF SECTION 24, T7N, R14W,  
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

## STAMP:



## PROJECT NO:

17200223

## SHEET NO:

**C-201**

## SHEET: 1 OF 3



Know what's below.  
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

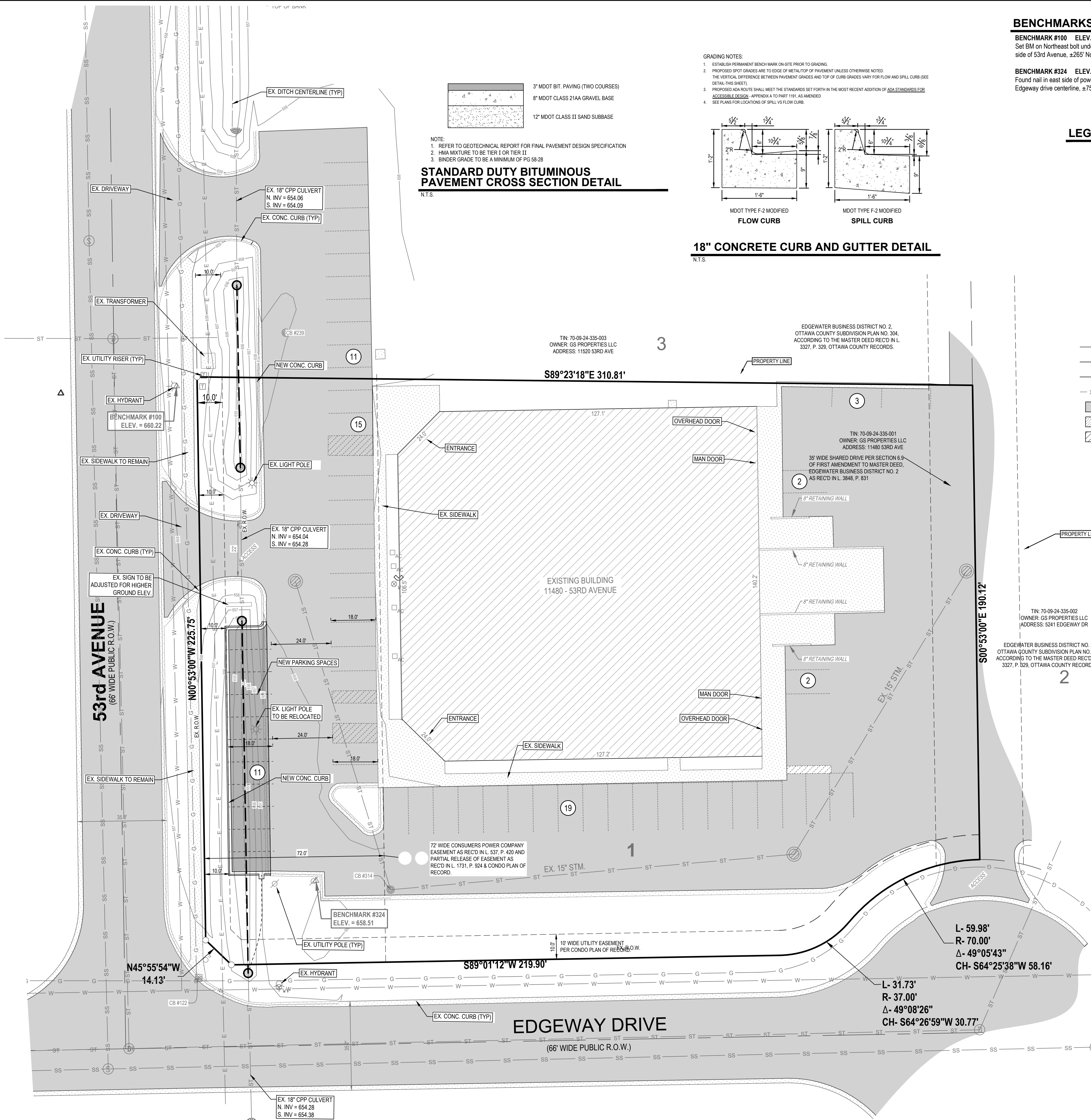




Know what's below.  
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

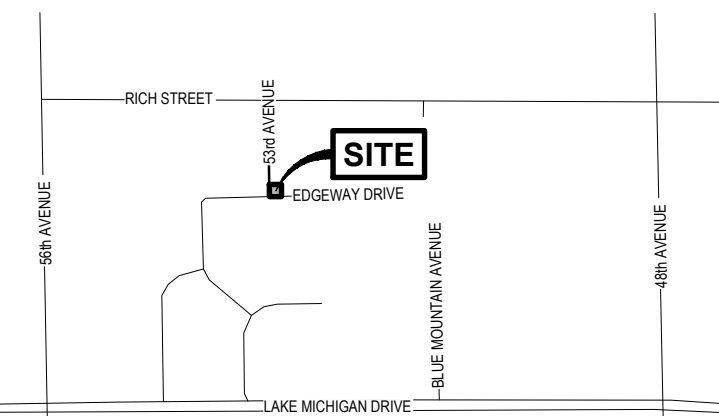
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANT" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



## BENCHMARKS

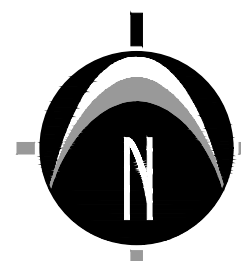
**BENCHMARK #100 ELEV. = 660.22 (NAVD88)**  
 Set BM on Northeast bolt under "W" to hydrant located on East side of 53rd Avenue, ±265' North of Edgeway Drive Centerline

**BENCHMARK #324 ELEV. = 658.51 (NAVD88)**  
 Found nail in east side of power pole located ±55' north of Edgeway drive centerline, ±75' east of 53rd Avenue



## LOCATION MAP

NOT TO SCALE



0' 15' 30' 60'  
 SCALE: 1" = 30'

**NEDERVELD**

www.nederveld.com

800.222.1668

GRAND RAPIDS

217 Grandville Ave., Suite 302

Grand Rapids, MI 49503

Phone: 616.575.5190

ANN ARBOR

CHICAGO

COLUMBUS

HOLLAND

INDIANAPOLIS

## PREPARED FOR:

Duke Construction Corporation  
 Attention: Duke Schut

11307 Edgeway Drive  
 Allendale, MI 49401  
 Phone: 616.900.6006

## REVISIONS:

Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 5/21/22
Title: Site Plan	Drawn: SW	Checked: SW	Date: 06/04/22
Title: Site Plan Submittal	Drawn: SW	Checked: SW	Date: 07/22/22
Title: Site Plan Showing Additional Parking	Drawn: SW	Checked: SW	Date: 09/24/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 09/26/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 09/27/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 10/05/22
Title: Per ZBA Submittal	Drawn: SW	Checked: SW	Date: 02/13/23

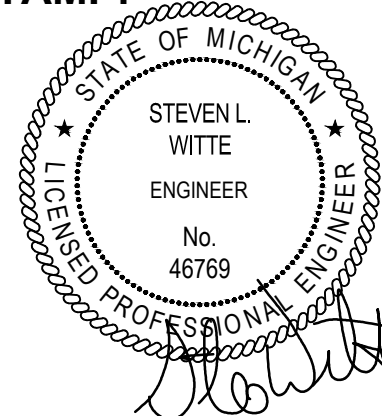
# BRARK INDUSTRIES - DITCH ENCLOSURE

## Site Plan

11480 53rd Avenue

PART OF THE SOUTHWEST 1/4 OF SECTION 24, T7N, R4W,  
 ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

## STAMP:



## PROJECT NO:

17200223

## SHEET NO:

**C-205**

SHEET: 2 OF 3

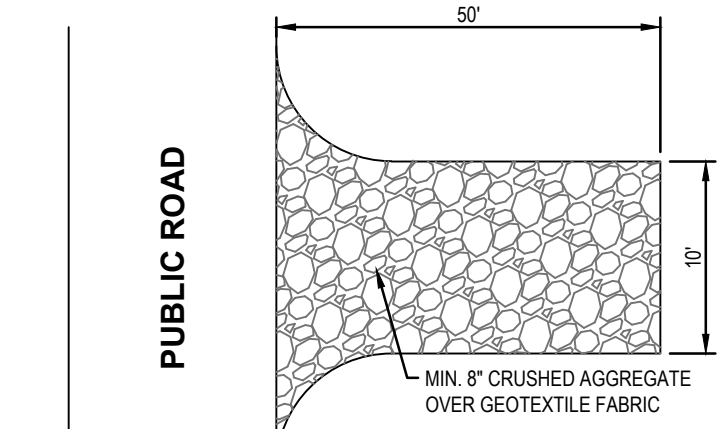


811

Know what's below.  
CALL before you dig.

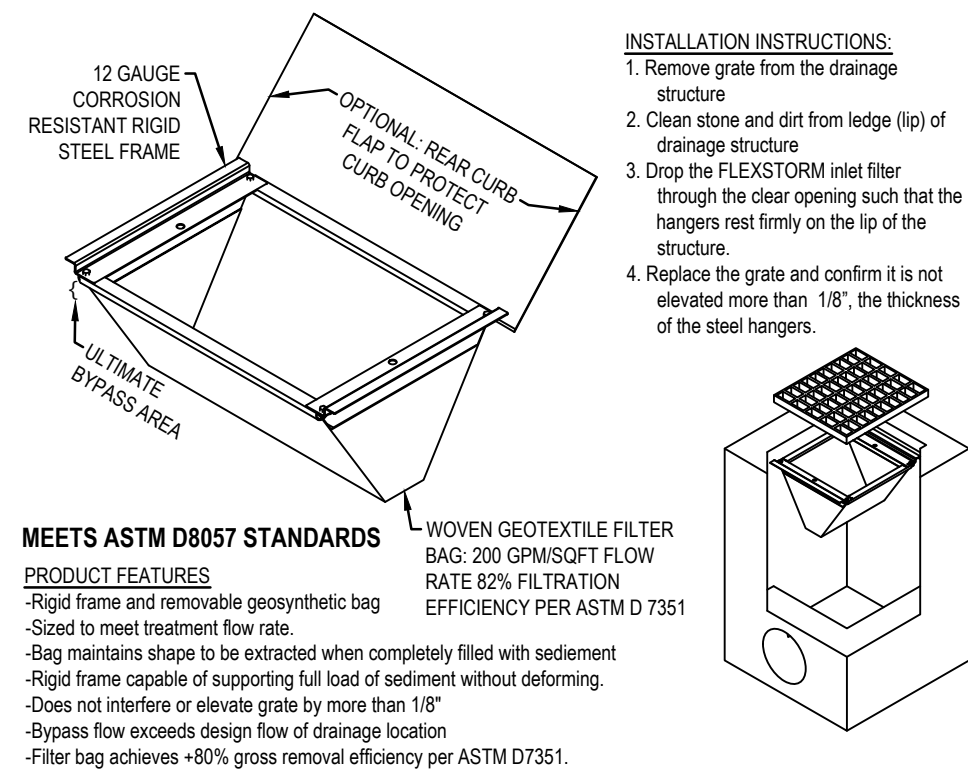
UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANT" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



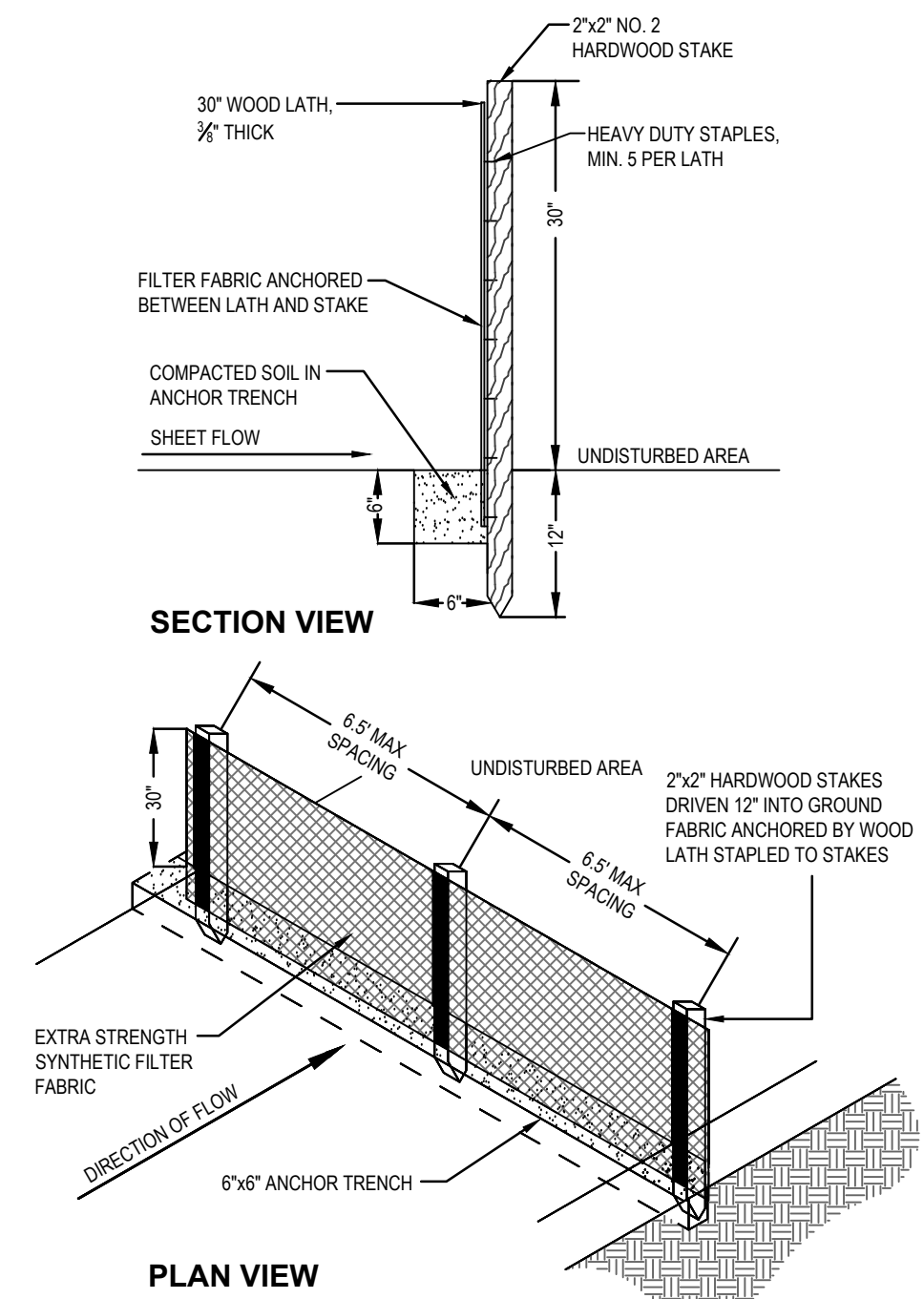
### TEMPORARY CRUSHED ROCK TRACKING PAD

N.T.S.



### FLEXSTORM INLET FILTER LITE DETAIL

N.T.S.

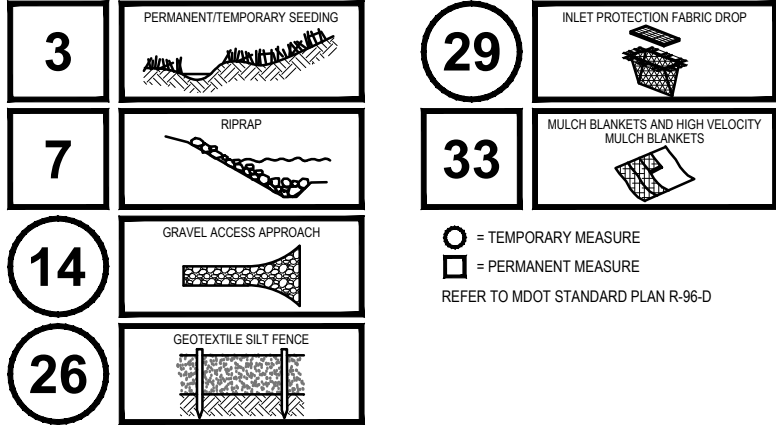


### SILT FENCE DETAIL

N.T.S.

### SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



### SOIL EROSION CONTROL SCHEDULE

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE SITE												
CONSTRUCT UTILITY LINES												
FINISH GRADE SITE												
PAVE CURB REPAIR AS NEEDED												
RESURF TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

TIN: 70-09-24-335-003  
OWNER: GS PROPERTIES LLC  
ADDRESS: 11520 53RD AVE

S89°23'18"E 310.81'

EXISTING BUILDING  
11480 - 53RD AVENUE

ENTRANCE

MAN DOOR

OVERHEAD DOOR

EX. SIDEWALK

EX. DRIVEWAY

EX. CONC. CURB (TYP)

EX. HYDRANT

EX. UTILITY RISER (TYP)

EX. TRANSFORMER

EX. DRIVEWAY

EX. SIDEWALK TO REMAIN

EX. CONC. CURB (TYP)

EX. SIDEWALK TO REMAIN

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

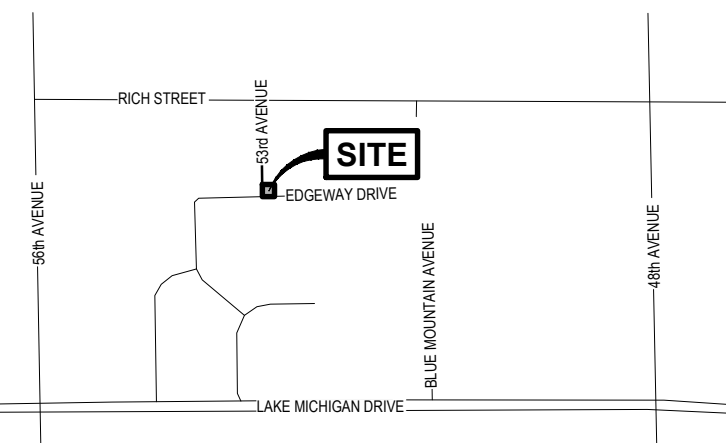
EX. SIDEWALK

EX. SIDEWALK

EX. SIDEWALK

### BENCHMARKS

- BENCHMARK #100** ELEV. = 660.22 (NAVD88)  
Set BM on Northeast bolt under "W" to hydrant located on East side of 53rd Avenue, ±265' North of Edgeway Drive Centerline
- BENCHMARK #324** ELEV. = 658.51 (NAVD88)  
Found nail in east side of power pole located ±55' north of Edgeway drive centerline, ±75' east of 53rd Avenue



### LEGEND

- AC Air Conditioner
- △ Benchmark / Control Point
- Catch Basin - Round
- Catch Basin - Square
- Culvert
- Hydrant
- Iron - Found
- Light Pole
- Phone Riser
- Miss Dig Flag - Gas
- Sign
- Utility Pole
- Water Valve
- OH — Overhead Utility
- ST — Storm
- G — Gas
- X — X — Fence
- Asphalt
- Concrete
- Existing Building

### LOCATION MAP

NOT TO SCALE



SCALE: 1" = 30'

### CONSTRUCTION NOTES

#### STORM SEWER

- ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.
- ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLC/P), WITH WATERTIGHT JOINTS MEETING THE REQUIREMENTS OF THE MICHIGAN PLUMBING CODE, ASHOTO M-352 AND M-354, ASTM F-2306, F-2648, D-3212, F-477, F-2487, D-3350 AND F-1417, UNLESS OTHERWISE SPECIFIED. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ASTM D-3231 OR CONCRETE PIPE MEETING THE REQUIREMENTS OF ASTM C-76 UNLESS OTHERWISE NOTED.
- 6" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF ASHOTO M-252 AND THE GEOTEXTILE SHALL MEET ASHOTO M-208 REQUIREMENTS.
- ALL FLARED END SECTIONS SHALL BE CONCRETE.
- ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS WITH BOOT TYPE PIPE CONNECTIONS CONFORMING TO ASTM C-923 FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
- ALL CATCH BASINS ARE DRAWN AND WILL BE STAKED AT CENTER OF CASTING.

#### WATERMAIN AND SANITARY SEWER

- ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE TOWNSHIP STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING POST CONSTRUCTION VIDEO INSPECTION OF THE SANITARY SEWER SYSTEM.

#### GENERAL

- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE TOWNSHIP WHERE CONDITIONS OCCUR IN THE ABOVE, THE TOWNSHIP SHALL BE THE GOVERNING AUTHORITY.
- VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNUSABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE TOWNSHIP AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
- ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE TOWNSHIP OR OWNER WITHOUT ANY ADDITIONAL COST TO THE TOWNSHIP OR OWNER.
- ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOO WHERE NEEDED AND SHALL BE RESEEDED AND MULCHED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
- ALL FENCE LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE MDOT AND/OR THE COUNTY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.
- THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING "ROAD CLOSED" SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
- THE CONTRACTOR SHALL PROTECT LOCATION OF ALL EXISTING UTILITIES AND BENCHMARKS.
- ALL WORK CONTINGENT SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE TOWNSHIP, OWNER AND THEIR REPRESENTATIVES. THE TOWNSHIP AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NON-COMFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- PROCESSED PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES AND SAFETY FEES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE POLICE DEPARTMENT AND THE TOWNSHIP.
- PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS. THE TOWNSHIP AND OWNER SHALL BE CONTACTED UPON DETERMINATION OF LIMITS IN THE FIELD.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE COUNTY, MDOT AND THE OWNER.
- NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
- ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE COUNTY, TOWNSHIP AND THE OWNER.
- DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MOTORIZED DUST-FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE TOWNSHIP, COUNTY, ETC. OR ANY OTHER GOVERNING AUTHORITY.
- ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE CLEANED BEFORE ACCEPTANCE BY THE TOWNSHIP AND OWNER.
- IF MUD, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
- ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT, DAMAGED PAVEMENT JOINTS OR OTHER SUCH LOAD TRANSFERS DEVICES SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND THE ENGINEER.
- ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
- COMPLETED PRELIMINARY BACKFILL, MUDT CLAS II SAND WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT. PAVEMENT INCLUDING, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDER, BUILDINGS, ETC.
- NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
- STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
- ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY AND SCOPE EXISTING SANITARY SEWER LATERAL TO CONFIRM ELEVATION, SLOPE, CONDITION AND PHYSICAL CONNECTION TO PUBLIC SANITARY SEWER MAIN PRIOR TO CONNECTION OF NEW LATERAL SERVICE.
- CONTRACTOR TO VIDEO SCOPE EXISTING STORM PIPE THAT IS LOCATED UNDER THE NEW BUILDING ADDITION TO VERIFY ITS CONDITION AND TO VERIFY THERE ARE NO DEFECTS OR STRUCTURAL ISSUES WITH THE PIPE. THIS SHALL BE DONE PRIOR TO CONSTRUCTION.

NEDERVELD

www.nederveld.com  
800.222.1668  
GRAND RAPIDS  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
Phone: 616.575.5190

ANN ARBOR  
CHICAGO  
COLUMBUS  
HOLLAND  
INDIANAPOLIS

### PREPARED FOR:

Duke Construction Corporation  
Attention: Duke Schut

11307 Edgewater Drive  
Allendale, MI 49401  
Phone: 616.900.6006

### REVISIONS:

Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 5/21/22
Title: Site Plan	Drawn: SW	Checked: SW	Date: 06/04/22
Title: Site Plan Submittal	Drawn: SW	Checked: SW	Date: 07/22/22
Title: Site Plan Showing Additional Parking	Drawn: SW	Checked: SW	Date: 09/24/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 09/26/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 09/27/22
Title: Per Owner	Drawn: SW	Checked: SW	Date: 10/05/22
Title: Per ZBA Submittal	Drawn: SW	Checked: SW	Date: 02/13/23

BRARK INDUSTRIES -  
DITCH ENCLOSURE

Prelimin. Utility, Grading & S.E.S.C. Plan

11480 53rd Avenue  
PART OF THE SOUTHWEST 1/4 OF SECTION 24, T7N, R4W,  
ALLENDALE TOWNSHIP, OTTAWA COUNTY, MICHIGAN

### STAMP:



### PROJECT NO:

17200223

### SHEET NO:

C-300

SHEET: 3 OF 3